

09238/13

(11)

I-09806/13

(60)



8/10/13 पश्चिम बंगाल WEST BENGAL  
9-23972/13

R 404324

Certified that the Document is duly  
Registration. The Signature Sheet and  
endorsement sheets attached to this Document  
are the part of this Document

Additional Registrar  
of Assurances- Kolkata  
9.10.13

**THIS DEED OF CONVEYANCE** is made on this 8<sup>th</sup> day  
of October Two Thousand Thirteen BETWEEN **SWAMI  
VIVEKANANDA INSTITUTE OF SCIENCE & TECHNOLOGY** a  
Registered Trust formed under the Indian Trust Act, having its  
registered office at 12, Pran Nath Pandit Street, P.S. Bhowanipore,

86550

07 OCT 2013

no.	Date
Sold to	SUMAN MAZUMDAR
Address	ADVOCATE HIGH COURT, CALCUTTA
By	TOPA BANERJEE
	L.S. VENDOR (O.S.)
	HIGH COURT, KOLKATA-700 001

Tapan Kundhara  
S/O Kanti Kundhara  
HC. R - S. Rm. No.

Kent - 1

OCC - Law Clerk

08 OCT 2013



Kolkata-700025, represented by its trustee **Dr. Rakesh Binaykia** son of Dr. Ashok Binaykia residing at 12, Pran Nath Pandit Street, P.S. Bhowanipore, Kolkata-700025, hereinafter referred to as the **VENDOR** (which terms or expression shall unless excluded by or there be something repugnant to the subject or context be deemed to mean and include its trustees, their successors-in-office, beneficiaries and/or assigns) of the **ONE PART**

**-AND-**

**VATAN PROPERTIES PVT. LTD.** a company incorporated under the Companies Act, 1956 having its corporate office at 128, Rashbehari Avenue, Kolkata-700029 having its **PAN: AAECV4915E** duly represented by its director **Vinod Devi Ghosal**, hereinafter referred to as the **PURCHASER** (which term or expression shall unless repugnant to the context and meaning thereof shall mean and include its successors-in-office and assigns) of the **OTHER PART** :

WHEREAS one Dasurathi Karmakar was absolutely seized and possessed of and/or otherwise well and sufficiently entitled to in fee simple in possession of **ALL THAT** piece and parcel of land measuring about **30 decimal** under L.R. Dag Nos.528, corresponding to R.S. Dag No.431, L.R. Dag No.529, corresponding to R.S. Dag No.432/1677, L.R. Dag No.530, corresponding to R.S. Dag No.432/1676, corresponding to L.R. Dag No.531, R.S. Dag No.432, corresponding to L.R. Dag No.532, R.S. Dag No.433,

8 OCT 2012

corresponding to L.R. Dag No.533, R.S. Dag No.434, corresponding to L.R. Dag No.534, R.S. Dag No.435, corresponding to L.R. Dag No.535, R.S. Dag No.436/180, corresponding to L.R. Dag No.536, R.S. Dag No.436, corresponding to & L.R. Dag No.549, R.S. Dag No.448, corresponding to L.R. Dag No.549, L. R. Khatian No.684 lying and situate at Mouza: Kodalia, J.L. No.35. P.S. Sonarpur, ADSR Sonarpur, District: South 24-Parganas ;

AND WHEREAS by a Deed of Conveyance dated 13<sup>th</sup> March, 2009 registered at the office of Additional District Sub-Registrar Sonarpur, South 24-Parganas recorded in Book No.I, CD Volume No.9, Pages: 5095-5112 being No.03189 for the year 2009 made between Dasurathi Karmakar therein stated as the Vendor and Swami Vivekananda Institute of Science & Technology therein stated as the Purchaser the said Dasurathi Karmakar represented by his Constituted Attorney Pradip Karmakar son of Dasurathi Karmakar by virtue of Power of Attorney dated 27.07.2007 being No.911 for the year 2007 registered at the office of ADSR Sonarpur sold transferred and conveyed unto and in favour of Swami Vivekananda Institute of Science & Technology of **ALL THAT** piece and parcel of land measuring about **30 decimal** under L.R. Dag Nos.528, corresponding to R.S. Dag No.431, L.R. Dag No.529, corresponding to R.S. Dag No.432/1677, L.R. Dag No.530, corresponding to R.S. Dag No.432/1676, corresponding to L.R. Dag No.531, R.S. Dag No.432, corresponding to L.R. Dag No.532, R.S. Dag No.433, corresponding to L.R. Dag No.533, R.S. Dag No.434, corresponding



*[Handwritten signature or mark]*

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8 OCT 2013



to L.R. Dag No.534, R.S. Dag No.435, corresponding to L.R. Dag No.535, R.S. Dag No.436/180, corresponding to L.R. Dag No.536, R.S. Dag No.436, corresponding to & L.R. Dag No.549, R.S. Dag No.448, corresponding to L.R. Dag No. 549, L. R. Khatian No.684 lying and situate at Mouza: Kodalia, J.L. No.35. P.S. Sonarpur, ADSR Sonarpur, District: South 24-Parganas ;

AND WHEREAS thus the said Swami Vivekananda Institute of Science & Technology became absolute Owner of **ALL THAT** piece and parcel of land measuring about **30 decimal** under L.R. Dag Nos.528, corresponding to R.S. Dag No.431, L.R. Dag No.529, corresponding to R.S. Dag No.432/1677, L.R. Dag No.530, corresponding to R.S. Dag No.432/1676, corresponding to L.R. Dag No.531, R.S. Dag No.432, corresponding to L.R. Dag No.532, R.S. Dag No.433, corresponding to L.R. Dag No.533, R.S. Dag No.434, corresponding to L.R. Dag No.534, R.S. Dag No.435, corresponding to L.R. Dag No.535, R.S. Dag No.436/180, corresponding to L.R. Dag No.536, R.S. Dag No.436, corresponding to & L.R. Dag No.549, R.S. Dag No.448, corresponding to L.R. Dag No.549, L. R. Khatian No.684 lying and situate at Mouza: Kodalia, J.L. No.35. P.S. Sonarpur, ADSR Sonarpur, District: South 24-Parganas ;

AND WHEREAS one Narendranath Karmakar (since deceased) was absolutely seized and possessed of and/or otherwise well and sufficiently entitled to in fee simple in possession of **ALL THAT** piece and parcel of land measuring about **29 satak** more or



ADDITIONAL REGISTRAR  
OF ASSURANCES  
28 OCT 2013



less under R.S. Dag Nos. 431, 432, 433, 432/1676, 432/1677, 434, 435, 436, 436/1810, 448, corresponding to L.R Dag Nos.528, 531, 532, 530, 529, 533, 534, 536, 535 and 549, L.R Khatian No.836 lying and situate at Mouza Kodalia, J.L. No.35 P.S. Sonarpur, ADSR Sonarpur, District: 24-Parganas (South) ;

AND WHEREAS the said Narendranath Karmakar died intestate leaving behind his wife Smt. Kamala Karmakar two sons namely Prasanta Karmakar, Susanta Karmakar and four daughters namely Manashi Karmakar, Sibani Karmakar, Sadhana Karmakar, Archana Karmakar as his legal heirs and none else ;

AND WHEREAS thus the said Smt. Kamala Karmakar, Prasanta Karmakar, Susanta Karmakar, Manashi Karmakar, Sibani Karmakar, Sadhana Karmakar, Archana Karmakar became absolute joint Owners **ALL THAT** piece and parcel of land measuring about **29 satak** more or less under R.S. Dag Nos. 431, 432, 433, 432/1676, 432/1677, 434, 435, 436, 436/1810, 448, corresponding to L.R Dag Nos.528, 531, 532, 530, 529, 533, 534, 536, 535 and 549, L.R Khatian No.836 lying and situate at Mouza Kodalia, J.L. No.35 P.S. Sonarpur, ADSR Sonarpur, District: 24-Parganas (South);

AND WHEREAS the said Kamala Karmakar died intestate leaving behind her two sons namely Prasanta Karmakar, Susanta Karmakar and four daughters namely Manashi Karmakar,



ADDITIONAL REGISTRAR  
OF ASSURANCE, KOLKATA  
- 8 OCT 2013

Sibani Karmakar, Sadhana Karmakar, Archana Karmakar as her legal heirs and none else ;

AND WHEREAS thus the said Prasanta Karmakar, Susanta Karmakar, Manashi Karmakar, Sibani Karmakar, Sadhana Karmakar, Archana Karmakar became absolute joint Owners of **ALL THAT** piece and parcel of land measuring about **29 satak** more or less under R.S. Dag Nos. 431, 432, 433, 432/1676, 432/1677, 434, 435, 436, 436/1810, 448, corresponding to L.R Dag Nos.528, 531, 532, 530, 529, 533, 534, 536, 535 and 549, L.R Khatian No.836 lying and situate at Mouza Kodalia, J.L. No.35 P.S. Sonarpur, ADSR Sonarpur, District: 24-Parganas (South) ;

AND WHEREAS by a Deed of Conveyance dated 16<sup>th</sup> March, 2009 registered at the office of Additional District Sub-Registrar Sonarpur, South 24-Parganas recorded in Book No.I CD Volume No. 9 Pages: 3560 to 3581 being No.3062 for the year 2009 made between one Prasanta Karmakar, Susanta Karmakar, Manashi Karmakar, Sibani Karmakar, Sadhana Karmakar, Archana Karmakar, therein described as the Vendors and Swami Vivekananda Institute Of Science & Technology therein stated as the Purchaser and the Vendor herein the said Prasanta Karmakar, Susanta Karmakar, Manashi Karmakar, Sibani Karmakar, Sadhana Karmakar, Archana Karmakar represented by their Constituted Attorney Shri Nemai Bose son of late Mihir Bose and Shambhunath Banik son of Noailal Bonik vide two registered Power of Attorney



ADDITIONAL REGISTRAR  
OF ASSURANCES-1, KOLKATA  
= 8 OCT 2013

dated 25<sup>th</sup> February, 2008 being No.191 of 2008 and 14.03.2008 being No.303 of 2008 both registered at the office of ADSR Sonarpur, sold, transferred and conveyed unto and in favour of Swami Vivekananda Institute Of Science & Technology of **ALL THAT** piece and parcel of land measuring about **29 satak** more or less under R.S. Dag Nos. 431, 432, 433, 432/1676, 432/1677, 434, 435, 436, 436/1810, 448, corresponding to L.R Dag Nos.528, 531, 532, 530, 529, 533, 534, 536, 535 and 549, L.R Khatian No.836 lying and situate at Mouza Kodalia, J.L. No.35 P.S. Sonarpur, ADSR Sonarpur, District: 24-Parganas (South) ;

AND WHEREAS thus the said Swami Vivekananda Institute Of Science & Technology became absolute Owner of **ALL THAT** piece and parcel of land measuring about **29 satak** more or less under R.S. Dag Nos. 431, 432, 433, 432/1676, 432/1677, 434, 435, 436, 436/1810, 448, corresponding to L.R Dag Nos.528, 531, 532, 530, 529, 533, 534, 536, 535 and 549, L.R Khatian No.836 lying and situate at Mouza Kodalia, J.L. No.35 P.S. Sonarpur, ADSR Sonarpur, District: 24-Parganas (South) ;

AND WHEREAS one Surendra Nath Karmakar (since deceased) was absolutely seized and possessed of and/or otherwise well and sufficiently entitled to in fee simple in possession of **ALL THAT** piece and parcel of land measuring about **29 satak** more or less comprised in under R.S. Dag Nos. 431, 432, 433, 432/1676, 432/1677, 434, 435, 436, 436/1810, 448, corresponding to L.R Dag

ADDITIONAL REGISTRAR  
OF ASSURANCES-I, KOLKATA  
= 8 OCT 2013



Nos.528, 531, 532, 530, 529, 533, 534, 536, 535 and 549, L.R Khatian No.836, 2296 lying and situate at Mouza Kodalia, J.L. No.35 P.S. Sonarpur, ADSR Sonarpur, District: 24-Parganas (South);

AND WHEREAS the said Surendra Nath Karmakar died intestate leaving behind his son Soumyakanti Karmakar as his legal heir and none else ;

AND WHEREAS thus the said Soumyakanti Karmakar became absolute owner of **ALL THAT** piece and parcel of land measuring about **29 satak** more or less comprised in under R.S. Dag Nos. 431, 432, 433, 432/1676, 432/1677, 434, 435, 436, 436/1810, 448, corresponding to L.R Dag Nos.528, 531, 532, 530, 529, 533, 534, 536, 535 and 549, L.R Khatian No.836, 2296 lying and situate at Mouza Kodalia, J.L. No.35 P.S. Sonarpur, ADSR Sonarpur, District: 24-Parganas (South) ;

AND WHEREAS by a Deed of Conveyance dated 18<sup>th</sup> March, 2009 registered at the office of Additional District Sub Registrar Sonarpur, South 24-Parganas recorded in Book No.I, CD Volume No.9, pages: 5132-5150 being No.3191 for the year 2009 made between Soumyakanti Karmakar therein stated as the Vendor and Swami Vivekananda Institute Of Science & Technology therein stated as the Purchaser and the Vendor herein the said Soumyakanti Karmakar sold, transferred and conveyed unto and in favour of **ALL THAT** piece and parcel of land measuring about **29**

ADDITIONAL REGISTRAR  
OF ASSURANCES-I, KOLKATA  
28 OCT 2019

**satak** more or less comprised in R.S. Dag No.431, 432/1677, 432/1676, 432, 433, 434, 435, 436/1810, 436 & 448, L.R. Dag Nos.528, 529, 530, 531, 532, 533, 534, 535, 536 and 549, L.R Khatian No.2296 lying and situate at Mouza: Kodalia, J.L. No. 35, P.S, Sonarpur, ADSR Sonarpur, District: 24-Parganas (South) ;

AND WHEREAS thus the said Swami Vivekananda Institute Of Science & Technology is the absolute owner **ALL THAT** piece and parcel of land measuring about **29 satak** more or less comprised in R.S. Dag No.431, 432/1677, 432/1676, 432, 433, 434, 435, 436/1810, 436 & 448, L.R. Dag Nos.528, 529, 530, 531, 532, 533, 534, 535, 536 and 549, L.R Khatian No.2296 lying and situate at Mouza: Kodalia, J.L. No. 35, P.S, Sonarpur, ADSR Sonarpur, District: 24-Parganas (South) ;

AND WHEREAS in the records of rights the name of the predecessor in title of the **said plots of land** i.e. of Surendra Nath Karmakar is still existing as the Vendor herein did not mutated its name in the records of rights ;

AND WHEREAS thus the said Swami Vivekananda Institute Of Science & Technology became absolute Owner of **ALL THAT** piece and parcel of land measuring an area **88 satak** more or less lying and situate at Mouza: Kodalia, J.L. No. 35, P.S, Sonarpur, ADSR Sonarpur, District: 24-Parganas (South) ;



ALCANTARA  
OF AMERICA  
= 8 OCT 2013

AND WHEREAS the Vendor is desirous of selling **ALL THOSE** pieces and parcels of land measuring about **3 satak** more or less under R.S. Dag No.431 corresponding to L.R Dag Nos.528 and land measuring about **3 satak** more or less under R.S. Dag No.448 corresponding to L.R Dag Nos.549 and land measuring about **3 satak** more or less under R.S. Dag No.432 corresponding to L.R Dag No.531 **totaling to 9 satak** more or less L.R Khatian Nos.2296, 684, 836, 4697 lying and situate at Mouza: Kodalia, J.L. No.35 P.S. Sonarpur, ADSR Sonarpur, District: 24-Parganas (South), as morefully and particularly described in the **SCHEDULE** hereunder written, hereinafter referred to as the **said plots of land** ;

AND WHEREAS the Vendor has approached the Purchaser for sale of the **said plots of land** free from all encumbrances, charges, liens, lispendences attachments claims and demands whatsoever ;

AND WHEREAS the Purchaser has agreed to purchase and the Vendor has agreed to sell **ALL THOSE** the **said plots of land** at a total consideration of Rs. 18,60,000/- (Rupees Eighteen Lac and Sixty Thousand) only free from all encumbrances, charges, liens, lispendences, attachments, claims and demands whatsoever on the terms and conditions stated hereunder ;



8 OCT 2019



### NOW THIS INDENTURE WIT

That in pursuance of the said consideration of the said sum of Rs. 18,60,000/- (Rupees Lac and Sixty Thousand) only paid by the Purchaser to the Vendor on or before the execution of these presents (the receipt whereof the Vendor doth hereby admit and acknowledge and from the payment of the same and every part thereof do hereby acquit, release and discharge the Purchaser as also the **said plots of and**) the Vendor doth hereby sell, grant, convey, transfer, assign and assure unto and in favour of the Purchaser **ALL THOSE** pieces and parcels of bastu land measuring about 3 satak out of 8 satak under R.S. Dag No.431 corresponding to L.R Dag Nos.528 and danga land measuring about 3 satak out of 17 satak under R.S. Dag No.448 corresponding to L.R Dag Nos.549 and bastu land measuring about 3 satak out of 32 satak under R.S. Dag No.432 corresponding to L.R Dag No.531 totaling to 9 satak equivalent to 5 cottah 6 chittack 18 sq.ft. more or less L.R Khatian Nos.2296, 684, 836, 4697 togetherwith **200 sq.ft.** structure standing thereon lying and situate at Mouza: Kodalia, J.L. No.35 P.S. Sonarpur, ADSR Sonarpur, District: 24- Parganas (South), as morefully and particularly described in the **SCHEDULE** hereunder written, hereinafter referred to as the **said plots of land** TOGETHERWITH all sewers, areas, drains, ditches, paths, passages, water, water courses and all manner of ancient and other rights, liberties easements, privileges, advantages,



STAMPED  
DEPARTMENT  
28 OCT 2018

appendages appurtenances and profits whatsoever standing and being in or upon or belonging thereto or any part thereof with which the same now are or is or at any time or times heretofore were or was held used occupied enjoyed accepted reputed deemed taken or known as part or member thereof or appertaining thereto and all the reversion and reversions, remainder or remainders and the rents, issue and profit thereof and every part thereof and all the estate right, title, interest, claim, use possession benefit claim and demand whatsoever both at law and equity or otherwise of the Vendor into upon or in respect of the **said plots of land** and every part thereof TOGETHERWITH all deeds, pattahs, writings, muniments and other evidences of title whatsoever exclusively relating to the **said plots of land** or any part thereof which now are or is or at any time or times hereafter shall or may in the possession, custody, power or control of the Vendor or its/their heirs, executors, administrators or legal representatives or in the custody of power or of any other person or persons from whom the Vendor can or may procure the same without any suit or action TO HAVE AND TO HOLD the same and the inheritance thereof in fee simple in possession free from all encumbrances whatsoever unto and to the use of the Purchaser or its heirs, executors, administrators or legal representatives and assigns absolutely and forever.



ADMINISTRATIVE  
OFFICE OF ASSISTANT COMMISSIONER  
- 8 OCT 2015



**THE VENDOR DOTH HEREBY COVENANT WITH THE PURCHASER** as follows :-

- a) That notwithstanding any act deed matter or thing whatsoever by the Vendor done, made or executed or knowingly suffered to the contrary the Vendor has good right, full power and absolute authority to grant, transfer, convey, sell, assure and assign the **said plots of land** hereby sold, granted, transferred and conveyed or expressed or intended so to be unto and to the use of the Purchaser in the manner aforesaid.
- b) That the Purchaser and its heirs, executors, administrators or legal representatives and assigns shall and may at all times hereafter peaceably and quietly hold possess and enjoy the **said plots of land** and receive and take the rents issues and profits thereof without any lawful eviction interruption claim or demand whatsoever from or by the Vendor or any person or persons lawfully equitably claiming from under or in trust for the Vendor or its/their Predecessor-in-Title.
- c) That the **said plots of land** is free and clear from all encumbrances and attachments whatsoever and freely clearly and absolutely exonerated and forever released and discharged otherwise by the Vendor and also well and sufficiently saved, defended kept, harmless and indemnified of from and against all former and other estate, title charge and encumbrances,



ADDITIONAL REGISTRAR  
OF ASSURANCE & INSURANCE  
- 8 OCT 2013

mortgages, claims, demands, lispendences, attachment, trust and liabilities whatsoever made executed occasioned or suffered by the Vendor or any other person or persons lawfully claiming or claimed by from under or in trust for the Vendor.

- d) That the Vendor and all persons and persons lawfully or equitably claiming any estate right, title or interest whatsoever in the **said plots of land** or any part thereof from under or in trust for the Vendor or from or under any of its/their Predecessor-in-Title shall and will from time to time and at all times hereafter at the request and cost of the Purchaser doth or execute or cause to be done and executed all such acts, deed and things whatsoever for further better and more perfectly assuring the **said plots of land** and every part thereof unto and to the use of the Purchaser in manner aforesaid as shall or may be reasonably required.
- e) That no part of the **said plots of land** being conveyed under these presents is vested with Government or Semi-Government Authority and there is no Bargadar in respect of any part of the **said plots of land** in any way and the Vendor has good right, full power and absolute authority to sell the same in the manner aforesaid and for any reason whatsoever if the Purchaser is dispossessed or deprived of full enjoyment of

ADDITIONAL REGISTRAR  
OF ASSURANCES-1, KOLKATA  
28 OCT 2019



the **said plots of land** or any part thereof then in that event the Vendor doth hereby agree to indemnify and keep the Purchaser fully indemnified against all losses, damages, costs, charges, claims and demands occasioned or arising out of the **said plots of land** hereby sold to the Purchaser.

- f) That the Vendor shall and will at all times hereafter at the request of the Purchaser produce all or any of the documents of title relating to the **said plots of land** as the Purchaser may direct all the title deed documents and writing for evidencing of title in respect of the **said plots of land** and also furnish to the Purchaser copies of or extracts from the said title deeds documents and writings and shall and will in the meanwhile keep the same safe un-obliterated and un-cancelled.
  
- g) That the Vendor doth hereby undertake to pay all outstanding District Board or Panchayat rates and taxes, Government revenue and all other imposition whatsoever due and payable by the Vendor or any of its/their Predecessors-in-Title in respect of the **said plots of land** up to the date of these presents and further agrees to keep the Purchaser fully indemnified in respect of all costs, charges and expenses arising in respect thereof.

ADDITIONAL REGISTRAR  
OF ASSURANCES-I, KOLKATA

28 OCT 2019



**Government Of West Bengal**  
**Office Of the A.R.A. - I KOLKATA**  
**District:-Kolkata**

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**Endorsement For Deed Number : I - 09806 of 2013**  
**(Serial No. 09238 of 2013 and Query No. 1901L000023972 of 2013)**

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**( Dinabandhu Roy )**  
**ADDL. REGISTRAR OF ASSURANCE-I OF KOLKATA**



**( Dinabandhu Roy )**  
**ADDL. REGISTRAR OF ASSURANCE-I OF KOLKATA**  
**EndorsementPage 2 of 2**



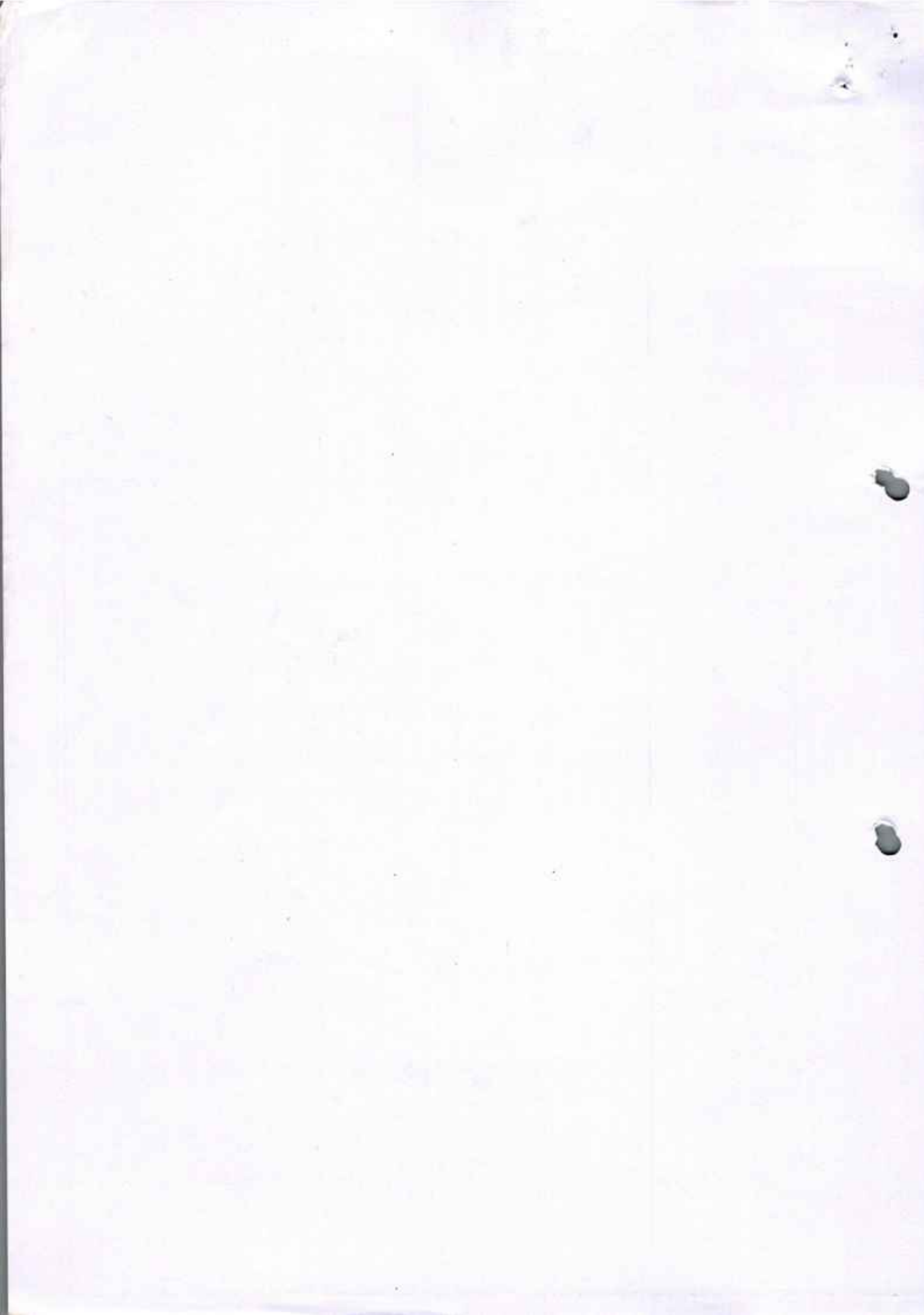


Certificate of Registration under section 60 and Rule 69.

Registered in Book - I  
CD Volume number 19  
Page from 1360 to 1387  
being No 09806 for the year 2013.



m  
(Dinabandhu Roy) 17-October-2013  
ADDL. REGISTRAR OF ASSURANCE-I OF KOLKATA  
Office of the A.R.A. - I KOLKATA  
West Bengal



- h) The Vendor has handed over khas possession of the **said plots of land** to the Purchaser and the Purchaser shall mutate its name in respect of the **said plots of land**.

**THE SCHEDULE ABOVE REFERRED TO :**

**ALL THOSE** pieces and parcels of bastu land measuring about **3 satak** out of 8 satak under R.S. Dag No.431 corresponding to L.R Dag Nos.528 and danga land measuring about **3 satak** out of 17 satak under R.S. Dag No.448 corresponding to L.R Dag Nos.549 and bastu land measuring about **3 satak** out of 32 satak under R.S. Dag No.432 corresponding to L.R Dag No.531 **totaling to 9 satak** equivalent to 5 cottah 6 chittack 18 sq.ft. more or less L.R Khatian Nos.2296, 684, 836, 4697 togetherwith **200 sq.ft.** structure standing thereon lying and situate at Mouza: Kodalia, J.L. No.35 P.S. Sonarpur, ADSR Sonarpur, District: 24-Parganas (South)-

Khatian Nos.	Dag No.		Area in Dag	Area to be sold in this Deed	Share %
	R.S.	L.R.			
836	431	528	8	3	0.3750
684	448	549	17	3	0.1764
2296	432	531	32	3	0.0937
4697					
			<b>Total:</b>	<b>9</b>	

as shown in the MAP or PLAN annexed hereto and bordered with RED COLOUR thereon and butted and bounded as follows:-

ADDITIONAL REGISTRAR  
OF ASSURANCES-I, KOLKATA  
- 8 OCT 2019



**R.S. Dag No.431, L.R. Dag No.528 :**

ON THE NORTH	R.S. Dag No.432/1677;
ON THE SOUTH	R.S. Dag No.432 ;
ON THE EAST	Partly by R.S. Dag No.436 ;
ON THE WEST	Partly R.S. Dag No.432/1677;

**R.S. Dag No.448, L.R. Dag No.549 :**

ON THE NORTH	Municipal drain ;
ON THE SOUTH	R.S. Dag No.431 & 432 ;
ON THE EAST	Partly by R.S. Dag No.436 ;
ON THE WEST	Municipal drain ;

**R.S. Dag No.432, L.R. Dag No.531 :**

ON THE NORTH	Municipal drain ;
ON THE SOUTH	Partly by R.S. Dag No.432 & 431 ;
ON THE EAST	Partly by R.S. Dag No.436 ;
ON THE WEST	Municipal drain and Partly by R.S. Dag No.428 ;

ADDITIONAL REGISTRAR  
STATE OF NEW YORK  
- 8 OCT 2013



IN WITNESS WHEREOF the parties hereto have  
executed these presents the day, month and year first above written.

SIGNED SEALED AND DELIVERED

by the **VENDOR** at Kolkata

SWAMI VIVEKANANDA INSTITUTE OF  
SCIENCE & TECHNOLOGY  
*[Signature]*  
AUTH. SIGNATORY / TRUSTEE

SIGNED SEALED AND DELIVERED

by the **PURCHASER** at Kolkata

Vatan Properties Pvt. Ltd.

*Vinod Devi Ghosal*  
Director

Witnesses :

1. *Topo Kishore Mahanta*  
*FC. R. S. B. D. D.*  
*Kerl - 1*
- 2.

Drafted by :

*S. Majumder.*  
Advocate, High Court, Calcutta.

RECEIVED  
OF ASSOCIATED L. H. H. H.  
28 OCT 2013



RECEIVED by the VENDOR of and from within  
 named PURCHASER the within mentioned the  
 Rs. 18,60,000/- (Rupees Eighteen Lac and Sixty Thousand)  
 Only being the consideration money  
 as per memo below :


**Rs. 18,60,000/-**

**MEMO OF CONSIDERATION**

A/c. Payee Cheque No.	Date	Drawn on	In favour of	Amount (Rs.)
087252	08.10.2013	The South Indian Bank Ltd. Brabourne Road, Branch	Swami Vivekananda Institute Of Science & Technology	18,60,000.00
			<b>Total :</b>	<b>18,60,000.00</b>

(Rupees Eighteen Lac and Sixty Thousand)only

SWAMI VIVEKANANDA INSTITUTE OF  
 SCIENCE & TECHNOLOGY

  
 AUTH. SIGNATORY / TRUSTEE

**Witnesses :**

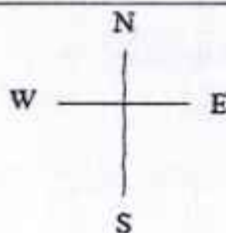
1.

2.

ADMINISTRATIVE  
OF ASSOCIATES & ALIEN  
- 8 OCT 2018

24 (448 missing)

SITE PLAN OF PART R.S DAG NO. 431, L.R. NO. 528 AT MOUZA, J.L 35,  
L.R. KHATIAN NO. 4697, P.S. SONARPUR, DIST 24 PGS (SOUTH)



DAG NO	AREA(DECIMAL)
431	3.0000
TOTAL	3.0000

**R.S. DAG NO.  
432/1677**

**R.S. DAG  
NO. 431 (P)**

**R.S. DAG  
NO. 431 (P)**

**R.S. DAG  
NO. 436 (P)**

**R.S. DAG  
NO. 431 (P)**

SWAMI VIVEKANANDA INSTITUTE OF  
SCIENCE & TECHNOLOGY

AUTH. SIGNATORY / TRUSTEE

SIGNATURE OF VENDOR(S)

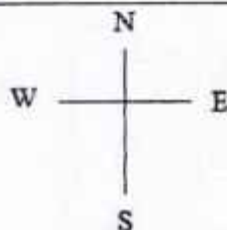
Water Properties Pvt. Ltd.

Vinod Devi-Ghosal  
Director

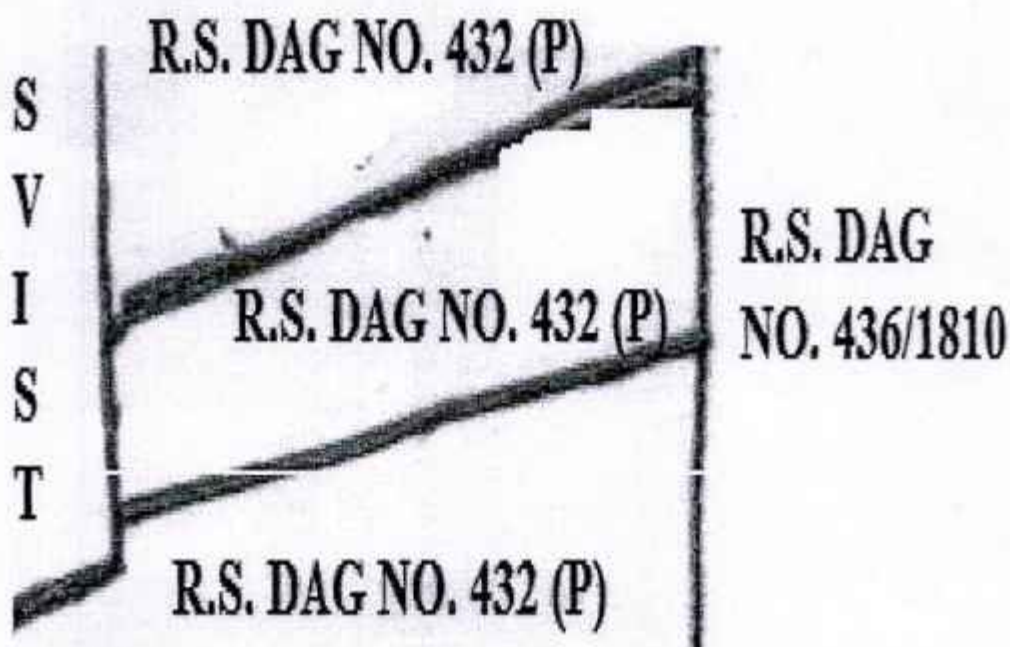
ADDITIONAL REGISTRAR  
OF ASSURANCES-I, KOLKATA  
- 8 OCT 2013



SITE PLAN OF PART R.S DAG NO. 432, L.R. NO. 531. AT MOUZA, J.L 35,  
L.R. KHATIAN NO. 4697, P.S. SONARPUR, DIST 24 PGS (SOUTH)



DAG NO	AREA(DECIMAL)
432	3.0000
TOTAL	3.0000



SWAMI VIVEKANANDA INSTITUTE OF  
SCIENCE & TECHNOLOGY

*[Signature]*  
AUTH. SIGNATORY / TRUSTEE

SIGNATURE OF VENDOR(S)

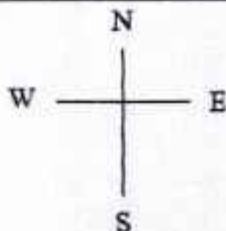
Vatva Properties Pvt. Ltd.

*[Signature]*  
Director

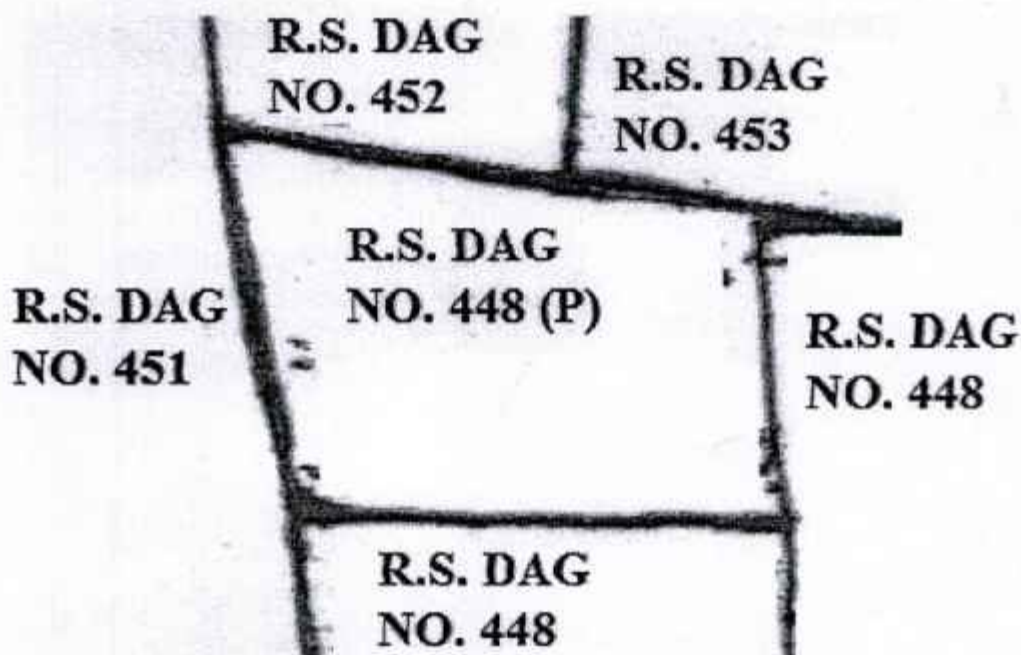


ADDITIONAL REGISTRAR  
OF ASSURANCES-I, KOLKATA  
- 8 OCT 2018 -

SITE PLAN OF PART R.S DAG NO. 448, L.R. NO. 549 AT MOUZA, J.L 35,  
L.R. KHATIAN NO. 4697, P.S. SONARPUR, DIST 24 PGS (SOUTH)



DAG NO	AREA(DECIMAL)
448	3.0000
TOTAL	3.0000



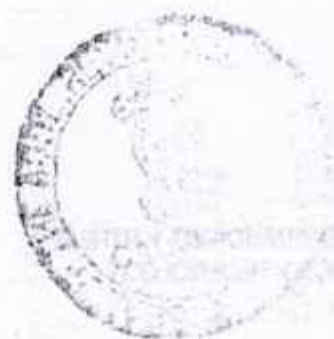
SWAMI VIVEKANANDA INSTITUTE OF  
SCIENCE & TECHNOLOGY

*Prinayki*  
AUTH. SIGNATORY / TRUSTEE

SIGNATURE OF VENDOR(S)

Vatan Properties Pvt. Ltd.

*Vinod Devi-Ghasal*  
Director












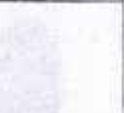

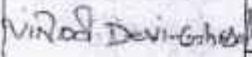










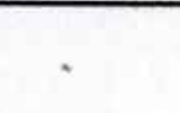
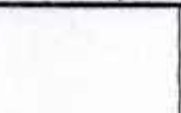
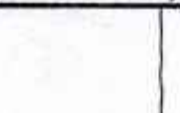
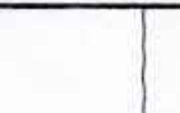
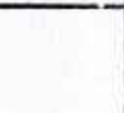
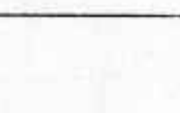
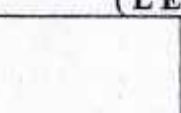
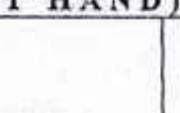
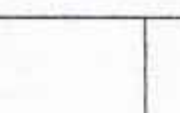


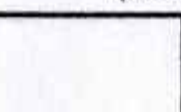
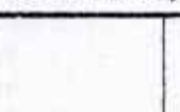
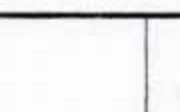
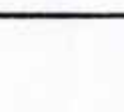
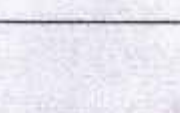
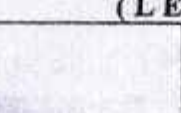

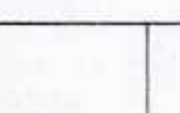
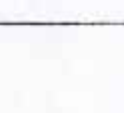


ADDITIONAL REGISTRAR  
OF ASSURANCES-I, KOLKATA

- 8 OCT 2013 -



# SPECIMEN FORM FOR TEN FINGERPRINTS

Sl. No.	Signature of the executants and/or purchaser Presents					
1.	 					
		LITTLE	RING	MIDDLE	FORE	THUMB
		(LEFT HAND)				
						
		THUMB	FORE	MIDDLE	RING	LITTLE
		(RIGHT HAND)				
2.	 					
		LITTLE	RING	MIDDLE	FORE	THUMB
		(LEFT HAND)				
						
		THUMB	FORE	MIDDLE	RING	LITTLE
		(RIGHT HAND)				
3.						
		LITTLE	RING	MIDDLE	FORE	THUMB
		(LEFT HAND)				
						
		THUMB	FORE	MIDDLE	RING	LITTLE
		(RIGHT HAND)				
4.						
		LITTLE	RING	MIDDLE	FORE	THUMB
		(LEFT HAND)				
						
		THUMB	FORE	MIDDLE	RING	LITTLE
		(RIGHT HAND)				





ADDITIONAL REGISTRAR  
OF ASSURANCES, KOLKATA  
28 OCT 2013



**Government of West Bengal**  
**Department of Finance (Revenue) , Directorate of Registration and Stamp Revenue**  
**Office of the A.R.A. - I KOLKATA, District- Kolkata**  
**Signature / LTI Sheet of Serial No. 09238 / 2013**

**I . Signature of the Presentant**

Name of the Presentant	Photo	Finger Print	Signature with date
Vinod Devi Ghosal 128, Rash Behari Avenue, Kolkata, Thana:-Lake, District:-South 24-Parganas, WEST BENGAL, India, Pin :-700029	 08/10/2013	 LTI 08/10/2013	<i>Vinod Devi Ghosal</i> 08.10.13

**II . Signature of the person(s) admitting the Execution at Office.**

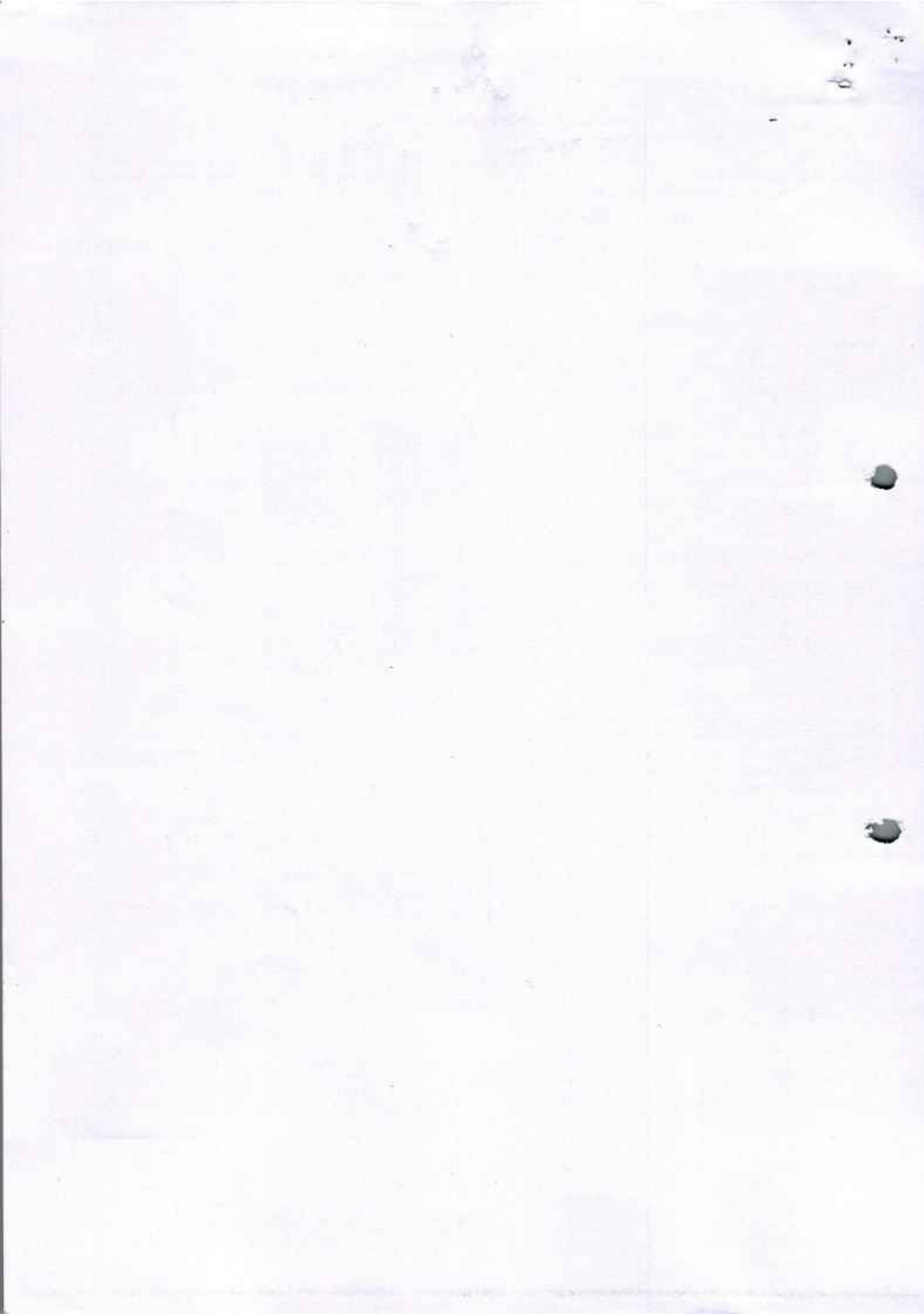
Sl No.	Admission of Execution By	Status	Photo	Finger Print	Signature
1	Rakesh Binaykia Address -12, Pranath Pandit Street, Kolkata, Thana:-Bhawanipore, District:-South 24-Parganas, WEST BENGAL, India, Pin :-700025	Self	 08/10/2013	 LTI 08/10/2013	<i>R Binaykia</i>
2	Vinod Devi Ghosal Address -128, Rash Behari Avenue, Kolkata, Thana:-Lake, District:-South 24-Parganas, WEST BENGAL, India, Pin :-700029	Self	 08/10/2013	 LTI 08/10/2013	<i>Vinod Devi Ghosal</i>

**Name of Identifier of above Person(s)**

Tapas Kumar Maity  
7 C, K. S. Roy Road., Kolkata, Thana:-Hare Street,  
District:-Kolkata, WEST BENGAL, India, Pin :-700001

**Signature of Identifier with Date**

*Tapas Kumar Maity*







**Government Of West Bengal  
Office Of the A.R.A. - I KOLKATA  
District:-Kolkata**

**Endorsement For Deed Number : I - 09806 of 2013  
(Serial No. 09238 of 2013 and Query No. 1901L000023972 of 2013)**

**On 08/10/2013**

**Payment of Fees:**

( Under Article : A(1) = 20449/- , E = 14/- , I = 55/- , M(a) = 25/- , M(b) = 4/- on 08/10/2013 )

**Certificate of Market Value(WB PUVI rules of 2001)**

Certified that the market value of this property which is the subject matter of the deed has been assessed at Rs.-18,60,000/-

Certified that the required stamp duty of this document is Rs.- 111620 /- and the Stamp duty paid as Impresive Rs.- 100/-

**Presentation(Under Section 52 & Rule 22A(3) 46(1),W.B. Registration Rules,1962)**

Presented for registration at 13.47 hrs on :08/10/2013, at the Office of the A.R.A. - I KOLKATA by Vinod Devi Ghosal ,Claimant.

**Admission of Execution(Under Section 58,W.B.Registration Rules,1962)**

Execution is admitted on 08/10/2013 by

1. Rakesh Binaykia  
Auth. Signatory/ Trustee, Swami Vivekananda Institute Of Science & Technology, 12, Pranath Pandit Street, Kolkata, Thana:-Bhawanipore, District:-South 24-Parganas, WEST BENGAL, India, Pin :-700025.  
, By Profession : Others
  2. Vinod Devi Ghosal  
Director, Vatan Properties Pvt. Ltd, 128, Rash Behari Avenue, Kolkata, Thana:-Lake, District:-South 24-Parganas, WEST BENGAL, India, Pin :-700029.  
, By Profession : Others
- Identified By Tapas Kumar Maity, son of Kanailal Maity, 7 C, K. S. Roy Road, Kolkata, Thana:-Hare Street, District:-Kolkata, WEST BENGAL, India, Pin :-700001, By Caste: Hindu, By Profession: Law Clerk.

( Dinabandhu Roy )  
ADDL. REGISTRAR OF ASSURANCE-I OF KOLKATA

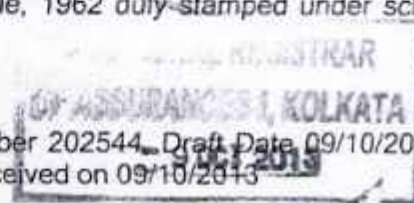
**On 09/10/2013**

**Certificate of Admissibility(Rule 43,W.B. Registration Rules 1962)**

Admissible under rule 21 of West Bengal Registration Rule, 1962 duly-stamped under schedule 1A. Article number : 23, 5 of Indian Stamp Act 1899.

**Deficit stamp duty**

Deficit stamp duty Rs. 111520/- is paid , by the draft number 202544, Draft Date 09/10/2013, Bank : State Bank of India, Jadu Babus Bazar ( Northern Park), received on 09/10/2013



( Dinabandhu Roy )  
ADDL. REGISTRAR OF ASSURANCE-I OF KOLKATA

